



CITY OF ST. PETERSBURG
PLANNING & DEVELOPMENT SERVICES DEPT.
DEVELOPMENT REVIEW SERVICES DIVISION

DEVELOPMENT REVIEW COMMISSION
STAFF REPORT

STAFF REPORT

DEVELOPMENT REVIEW COMMISSION
REDEVELOPMENT REQUEST
PUBLIC HEARING

For **Public Hearing** and **Executive Action** on March 2, 2022, beginning at 1:00 P.M., Council Chambers, City Hall, 175 Fifth Street North, St. Petersburg, Florida

According to Planning & Development Department records, **no Commission member** has a direct or indirect ownership interest in rear property located within 2,000 linear feet of real property contained within the application (measured by a straight line between the nearest points on the property lines). All other possible conflicts should be declared upon the announcement of the item.

CASE NO.: 21-51000008 PLAT SHEET : G-8

REQUEST: Approval of a Redevelopment Plan to allow the redevelopment of an existing triplex into two (2) townhomes.

OWNER: 1227 INVESTORS LLC
200 2ND Avenue South #417
St. Petersburg, FL 33701

AGENT: CANOPY BUILDERS
1900 Dr. Martin Luther King Jr. Street North

ADDRESS: 1227 Jackson Street North

PARCEL ID NO.: 13-31-16-02916-002-0120

LEGAL DESCRIPTION: Lot 12, Block 2, Bartlett's Orange Park

ZONING: Neighborhood Traditional Single-Family (NT-2)

SITE AREA TOTAL: 8,840 square feet or .20 acres

GROSS FLOOR AREA:

Existing:	2,521 square feet	0.24 F.A.R.
Proposed:	5,590 square feet	0.63 F.A.R. *
Permitted:	5,746 square feet	0.65 F.A.R. **

* Not including the first 600 square feet of garage area or open porches

** The applicant is requesting design related bonuses to the base floor area ratio standard.

DENSITY:

Existing:	3 units	(10 units per acre)
Permitted:	1 principal 1 accessory	(15 units per acre)
Proposed:	2 units	(10 units per acre) *

* Redevelopment of a portion of the grandfathered density is the subject of this application.

BUILDING COVERAGE:

Existing:	1,605 square feet	18% of Site MOL
Proposed:	4,512 square feet	51% of Site MOL
Permitted:	5,304 square feet	60% of Site MOL

IMPERVIOUS SURFACE:

Existing:	1,865 square feet	21% of Site MOL
Proposed:	5,667 square feet	62% of Site MOL
Permitted:	5,746 square feet	65% of Site MOL

OPEN GREEN SPACE:

Existing:	6,975 square feet	78% of Site MOL
Proposed:	3,173 square feet	36% of Site MOL

PAVING COVERAGE:

Existing:	260 square feet	2% of Site MOL
Proposed:	620 square feet	7% of Site MOL

PARKING:

Existing:	2 spaces, including 0 handicapped spaces
Proposed:	6 spaces, including 0 handicapped space
Required:	4 spaces, including 0 handicapped space

BUILDING HEIGHT:

Existing:	18 feet
Proposed:	31 feet
Permitted:	36 feet

APPLICATION REVIEW:

I. PROCEDURAL REQUIREMENTS: The applicant has met and complied with the procedural requirements of Section 16.70.040.1.15 of the Municipal Code for to determine compliance with the criteria for Redevelopment.

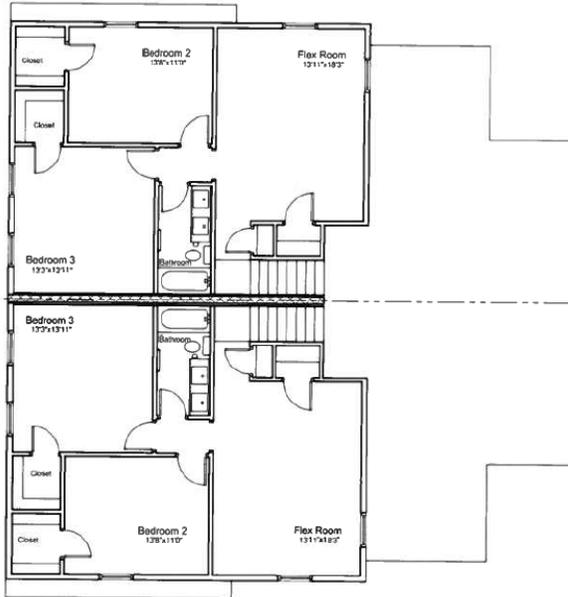
II. DISCUSSION AND RECOMMENDATIONS:

Background: The subject property is zoned NT-2 (Neighborhood Traditional Single-Family) and is located in the Euclid-St. Paul neighborhood. The lot has a lot width of 65-feet, depth of 136-feet, and an area of approximately 8,840 square feet. The property is currently developed with a two-story three-unit structure. Property Card records (see attached) indicate that a 1990 Property Card Interpretation recognized “two (2) units on the ground floor of the residence one (1) unit over the garage” all contained in the same building. This application seeks to demolish the existing three units to construct two townhomes.

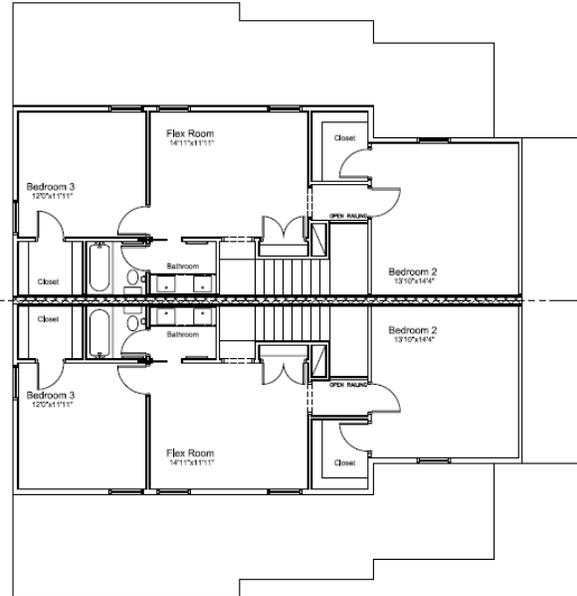
The current regulations for the NT-2 zoning district allows one primary dwelling unit and one accessory dwelling unit, on lots with a minimum lot area of 4,500 square feet. In accordance with the Property Card Interpretation, the property’s current “multi-family” use is considered grandfathered. Business Tax receipts for the site have been maintained for three (3) dwelling units. The code allows for the redevelopment of grandfathered uses, subject to the Commission's approval of a Redevelopment Plan.

Based on concerns expressed for the preservation of an existing 42” Live Oak located on the left side yard property line shared with the property located at 1233 Jackson Street North, the applicant has revised the plans submitted with this request to reconfigure the second floor of both units to provide more separation from the grand tree’s canopy. Additionally, the applicant proposes the installation of a grade beam foundation in consideration of the proximity of the development to the affected critical root zone, along with symmetric canopy and root pruning under the supervision of a Certified Arborist in efforts to monitor the condition the grand tree during construction.

Original Second Story Floor Plan



Reconfigured Second Story Floor Plan



The Request: The applicant seeks approval of a Redevelopment Plan to redevelop the subject property with two townhomes. The proposed plan does incorporate design related FAR bonuses but requests no variances.

Current Proposal: The proposed plan contemplates redeveloping two of the three dwelling units into two two-story townhomes. In consideration of the mix of one and two-story homes along the street face, the second story of the structure has been recessed towards the rear half of the building, to reinforce the one-story scale of the neighboring homes.

Redevelopment Criterion: Pursuant to Code Subsection 16.70.040.1.15, an application for redevelopment must be reviewed for compliance with the criterion. An analysis follows, based on the City Code criterion to be considered by the Commission.

- 1. Building Type.** *Structures shall be required to match the predominate building type in the block face across the street.*

Structures across the street vary between one-story and two-story buildings. The proposed townhomes are designed with side-by-side front doors and porch entrances oriented towards Jackson Street. With the second floors recessed over the garages, more towards the rear one-third of the lot, the townhomes will provide a single-story presence in context to the east and west neighboring properties and across the street.

- 2. Building Setbacks.** *Structures shall be required to match the predominate building setbacks in the block face across the street.*

The proposed building meets the required setbacks for the NT-2 zoning district, which is consistent with the development pattern.

- 3. Building Scale.** *Structures shall be required to match the predominate building type, setbacks, and scale in the block face across the street.*

One- and two-story residential structures are present along the street face and within the surrounding neighborhood. The proposed two-story structure meets the height and setback requirements of the district and is consistent with the building type, setbacks, and scale of the street.

- 4. Site Development.** *Structures shall be required to match the predominate development pattern in the block face across the street. If alley access exists on the proposed site, garages and parking areas shall be designed for alley use.*

Vehicular access to the site's garage parking will be provided via the east abutting 15-foot-wide alley. Pedestrian access will be provided by three-foot-wide walkways. The block face across the street has been developed with single and two-story single-family homes.

Building Mass. *Building Mass shall be regulated by building setbacks and floor area ratio (FAR). The maximum FAR shall be existing FAR of the property prior to redevelopment or 0.50 FAR, whichever is greater.*

The request utilizes the 0.50 FAR base allowance. This allowance is higher than the 0.40 base allowance required by the NT-2 zoning district before design bonuses are required.

The property has an existing FAR of 0.24. The request proposes an FAR of 0.65. This 0.65 FAR is requested by combining the 0.50 allowed for Redevelopment Plans with a 0.10 architectural style bonus and 0.05 bonus for exterior materials.

- 5. Building Height.** *Residential structures for a project less than a city block shall comply with the following building height and roof design requirements: i. The maximum height shall not exceed 24 feet to the eave line and 36 feet to the peak of the roof for primary structures, ii. The maximum height shall not exceed 20 feet to the eave line and 32 feet to the peak of the roof for secondary or accessory structures, iii. The maximum slope of any roof angle shall not exceed 12/12. iv. Dormers shall not exceed 50-percent of any roof surface.*

The townhomes have a proposed building height of 22-feet to the beginning of the second-floor roof line and 33-feet to the roof peak.

- 6. Development Across Multiple Lots.** *Structures shall be separated by zoning district setbacks, however, if not separated by zoning district setbacks, there shall be a break in the building and roof planes at each original lot line which shall be equal to or greater than the combined side yard setbacks that would be required for each lot.*

This criterion is not applicable to this case.

- 7. Single Corner Lots.** *Structures on single corner lots shall be oriented so that the front entrance of the structure faces the legal front yard.*

This criterion is not applicable to this case.

- 8. Traditional Grid Roadway Network.** *For projects equal to or greater than a city block, extensions of the traditional grid roadway network which 1) abut the perimeter of the project area and 2) would be logically extended through the project area shall be required. Compliance with applicable subdivision and public improvement regulations shall be required.*

This criterion is not applicable to this case.

- 9. Non-Traditional Grid Roadway Network.** *For projects equal to or greater than a city block, roadway and pedestrian networks shall meet the following requirements: i. There should be at least two (2) points of entry into the project, ii. Sidewalk connections shall be made to surrounding streets, homes, and businesses, iii. Streets shall be stubbed to property lines to allow for roadway extensions into abutting properties which may be developed or are anticipated to be redeveloped in the future.*

This criterion is not applicable to this case.

- 10. Density and Intensity.** *For mobile home park redevelopment, the maximum number of dwelling units shall be equal to the number of legal mobile home spaces(lots) within the park prior to redevelopment, or 140-percent of the maximum density of the future land use designation assigned to the property, whichever is less.*

This criterion is not applicable to this case.

FAR Bonuses: The criteria for Floor Area Ratio bonuses are set forth under Subsection 16.70.040.1.15.

FAR bonuses shall only be allowed for originally platted lots which have not been joined together. Structures on joined or combined lots (two or more originally platted lots) shall not be allowed FAR bonus and shall be developed following the development across multiple lots criteria indicated in Section 16.70.040.1.15.

In this case, there are no buildings containing grandfathered density that were developed across any platted lot lines.

- a. An FAR bonus of 0.10 shall be granted when structures are located in a traditional neighborhood context and designed in a traditional building style as defined by the City's neighborhood design review manual or the Land Development Regulations. To qualify for this FAR bonus, the structure shall use the correct proportions, fenestration patterns, details, and materials. Structures that use finishes common to an identified style without proper design, detailing, and fenestration shall not qualify for this FAR bonus.

The proposed townhouse structure is designed in the Folk Vernacular architectural style as outlined in the St. Petersburg's Design Guidelines for Historic Properties. The proposed structure features correct proportions of the Folk Vernacular architectural style including front facing gabled roofing with an 8:12 roof pitch, boxed eaves, visible roof ridge lines running parallel to the entrance façade, simple porches pitched parallel to the building, windows that are symmetrically placed, and the entrance doors are centered within a front-facing porch. Consistent fenestration patterns include double-hung windows with 4 over 1 and 6 over 1 cottage slashed muntin patterns and ornate entry doors. The proposed asphalt shingle roof and horizontal lap siding materials are also consistent with the proposed architectural style.

- (b) An FAR Bonus of 0.05 shall be granted when structures are finished with decorative wall finishes typical of traditional development. This includes clapboard or single products of real wood "Hardi-Plank" or the equivalent, rough textured or exposed aggregate stucco, tile, brick, or stone. Vinyl or aluminum siding and smooth or knock down stucco shall not qualify for this bonus.*

The project proposes to utilize Hardi-Plank siding as the exterior siding material for the development.

Staff reviewed the plans for consistency with the St. Petersburg's Design Guidelines for Historic Properties to ensure that it meets the design requirements for the Folk Vernacular architectural style and determined that it is in compliance.

Public Comments: The subject property is located within the Euclid-St. Paul Neighborhood. The Neighborhood Association and all property owners within 300-feet of the subject property were notified of the request. At the time of completion of this report, Staff had received comments from neighbors expressing concerns for the following:

- The alleyway being used for construction staging.
- Redevelopment Plan noticing procedures.
- The 1990 Property Card Interpretation determination.

- Incompatible lot sizes to surrounding properties allowed by the Subdivision regulations.
- Proposed setback non-compliance.
- How Floor Area Ratio is applied.
- Impact management and preservation to the Grand Live Oak.

STAFF RECOMMENDATION: Based on a review of the redevelopment application according to the evaluation criteria contained within the City Code, the Development Services Department Staff recommends **APPROVAL** of the requested Redevelopment Plan.

CONDITIONS OF COMMISSION ACTION: If the application is approved consistent with the site plan submitted with this application, the Planning and Development Department Staff recommends that the approval shall be subject to the following conditions:

1. The plans submitted for permitting shall substantially resemble the plans attached to this report. Significant modifications to the plans shall require a new application and public hearing. Development of the site shall comply with all requirements of the NT-2 zoning district.
2. Plans submitted for permitting and any future development, must be designed with attention to the preservation of the existing Grand Live Oak and show the location of all protected and grand trees. Prior to approval of building permits, the applicant shall engage and retain a Certified Arborist to prepare a tree preservation plan for review, approval, and implementation with specific attention to the Grand Live Oak located between 1227 Jackson Street North and 1233 Jackson Street North.

The plan shall include details of methods to protect and preserve the vitality of the tree, such as but not limited to root pruning, soil aeration, canopy pruning, fertilization program, the installation of a proper wood or chain link barricade around as much of the tree as reasonably possible prior to construction activities, and detailed methods of construction to minimize impact to major roots. The above described is in addition to the proposed utilization of a lintel system for the foundation to minimize the impact to the tree's root system and the reconfigured second story designed of the house adjacent to the tree to minimize the impact to the tree's canopy.

3. The site plan submitted for permitting shall depict all proposed ancillary equipment, such as generators, air conditioning, and irrigation equipment. These items shall be screened with either fencing or perimeter landscaping.
4. The plans submitted for permitting shall depict all necessary information to demonstrate compliance with the tree preservation requirements set forth under Code Subsection 16.40.060.2.1.3.
5. This approval shall be valid through March 2, 2025. Substantial construction shall commence prior to this expiration date. The applicant may request up to two two-

year extensions from the POD prior to the expiration. Requests for extension must be filed in writing to the POD prior to the expiration date.

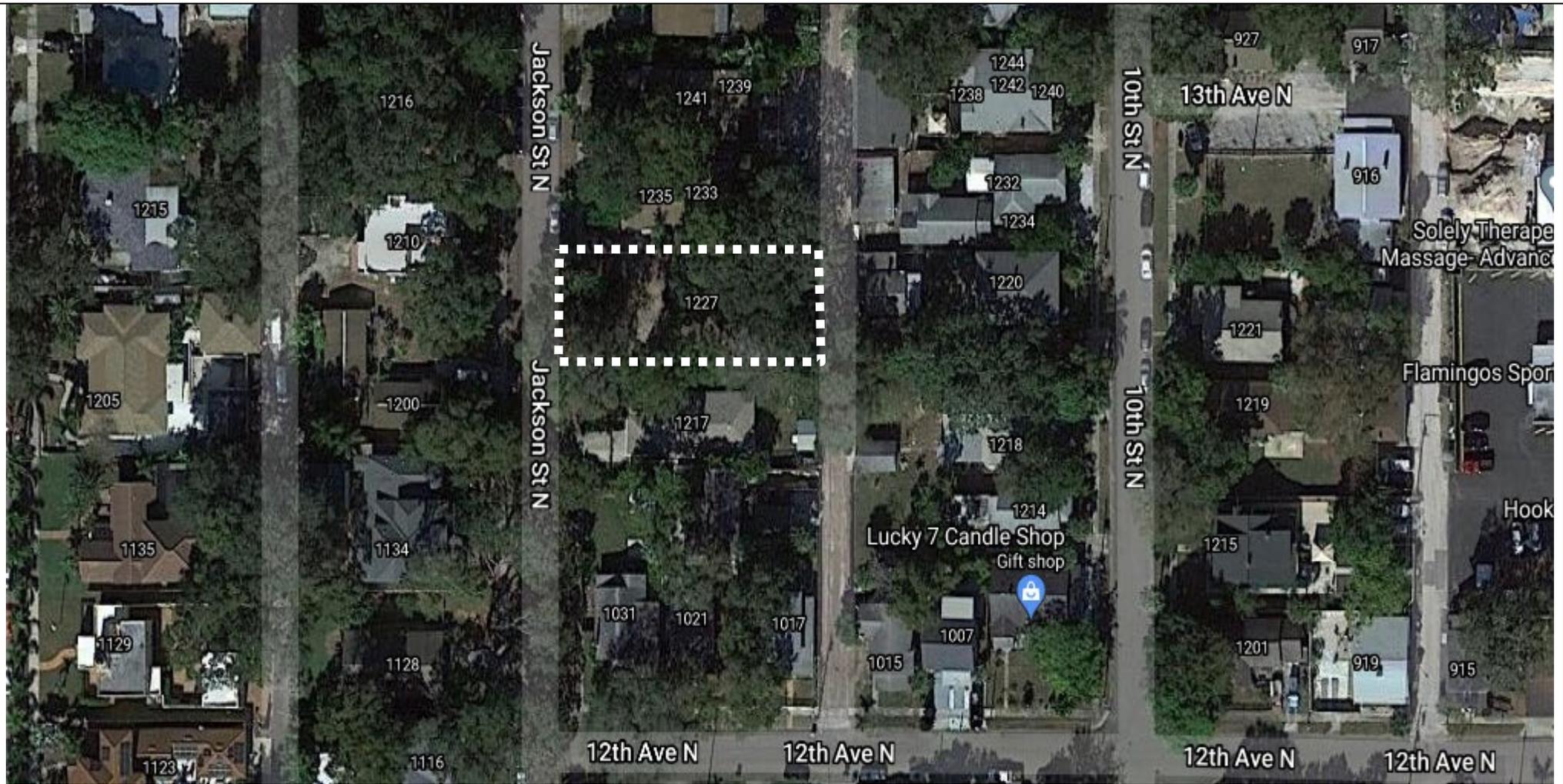
Report Prepared By:

<u>/s/Shervon Chambliss</u>	<u>2/23/2022</u>
Shervon Chambliss	Date
Planner I	
Development Review Services Division	
Planning and Development Services Department	

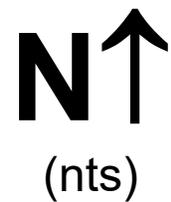
Report Prepared For:

<u>/s/Dave Goodwin</u>	<u>2/23/22</u>
Dave Goodwin	Date
Interim Zoning Official	
Development Review Services Division	
Planning and Development Services Department	

Attachments: Project Location Map (Attachment-A), Redevelopment Plan Application (Attachment-B), Site Plan (Attachment-C), Construction Plans (Attachment-D), Revised Second Story Floor Plan (Attachment E) Lentil System Detail (Attachment F), Property Card Interpretation (Attachment-G), Business Tax License History (Attachment H), Code Enforcement History Attachment (I)



Project Location Map
City of St. Petersburg, Florida
Planning and Economic Development
Department
Case No.: 21-51000008
Address: 1227 Jackson St. N.
Attachment A





REDEVELOPMENT

Application No. 21-51000008

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Development Review Services Division, located on the 1st floor of the Municipal Services Building, One 4th Street North.

GENERAL INFORMATION	
NAME of PROPERTY OWNER: 1227 INVESTORS LLC	
Street Address: 200 2ND AVENUE SOUTH #417	
City, State, Zip: ST. PETERSBURG, FL 33701	
Telephone No:	Email Address:
NAME of AGENT or REPRESENTATIVE: CANOPY BUILDERS LLC	
Street Address: 1900 DR MLK JR ST N	
City, State, Zip: ST PETERSBURG, FL 33704	
Telephone No: 727-560-0737	Email Address: BEN@CANOPYBUILDERS.COM
PROPERTY INFORMATION:	
Street Address or General Location: 1227 JACKSON ST N, ST PETERSBURG, FL 33705	
Parcel ID#(s): 13-31-16-02916-002-0120	
DESCRIPTION OF REQUEST: Redevelop 2 of the 3 units into fee simple townhomes with a lot split.	
PRE-APPLICATION DATE: 07/15/2021 PLANNER: JCB/SAC	

FEE SCHEDULE



Redevelopment Plan Review \$500.00
 Variance - First Variance \$350.00
 Each additional Variance \$100.00
Cash, credit, and checks made payable to the "City of St. Petersburg"

AUTHORIZATION

City Staff and the designated Commission may visit the subject property during review of the requested redevelopment. Any Code violations on the property that are noted during the inspections will be referred to the City's Codes Compliance Assistance Department.

The applicant, by filing this application, agrees he or she will comply with the decision(s) regarding this application and conform to all conditions of approval. The applicant's signature affirms that all information contained within this application has been completed, and that the applicant understands that processing this application may involve substantial time and expense. Filing an application does not guarantee approval, and denial or withdrawal of an application does not result in remittance of the application fee.

NOTE: IT IS INCUMBENT UPON THE APPLICANT TO SUBMIT CORRECT INFORMATION. ANY MISLEADING, DECEPTIVE, INCOMPLETE, OR INCORRECT INFORMATION MAY INVALIDATE YOUR APPROVAL.

Signature of Owner / Agent*:  Date: 10/07/2021

Printed Name: Ben Gelston

*Affidavit to Authorize Agent required, if signed by Agent.



Pre-Application Meeting Notes

Meeting Date: 07/15/2021 Zoning District: NT-2

Address/Location: 1227 Jackson St N

Request: Approval of a redevelopment of a duplex into

Type of Application: Redevelopment Staff Planner for Pre-App: jcb/sac

Attendees: Dane Hamilton

Neighborhood and Business Associations within 300 feet:

Assoc.	Contact Name:	Email:	Phone:
EUCLID-ST PAUL NBRHD ASSN	Benjamin Gelb	president@espna.org	none

(See Public Participation Report in applicable Application Package for CONA and FICO contacts.)

Notes: Subject lot consists of one platted lot with three lawful dwelling units per 1990 PCI and Business Tax License records. The proposal is to redevelop two of the three units into fee simple townhomes with a Lot Split and Redevelopment Plan. Staff indicated that the project would be subject to NT district regulations, applicable plan review criteria, and the redevelopment plans F.A.R. regulation most notably. It was clarified by staff that redevelopment plans of this magnitude do require 10 day notices of intent to all specified associations. These notes shall serve as pre-app notes for above referenced applications. Staff indicated no objection to the proposal however could not indicate support due to the absence of preliminary plans for the pre-app.

10 day notices of intent to file are required for CONA, FICO, and the Eculid St. Paul Neighborhood Association required for submittal.



REDEVELOPMENT

AFFIDAVIT TO AUTHORIZE AGENT

I am (we are) the owner(s) and record title holder(s) of the property noted herein

Property Owner's Name: 1227 INVESTORS LLC

This property constitutes the property for which the following request is made

Property Address: 1227 JACKSON ST N, ST PETERSBURG, FL 33705

Property ID No.: 13-31-16-02916-002-0120

Request: Authorization to pursue a lot split and redevelopment for 2 townhome units with the City of St Petersburg.

The undersigned has(have) appointed and does(do) appoint the following agent(s) to execute any application(s) or other documentation necessary to effectuate such application(s)

Agent's Name(s): Canopy Builders LLC

This affidavit has been executed to induce the City of St. Petersburg, Florida, to consider and act on the above described property.

I (we), the undersigned authority, hereby certify that the foregoing is true and correct.

Signature (owner): [Signature]

Michael Hamblin
Printed Name

Sworn to and subscribed on this date

Identification or personally known: [Signature]

Notary Signature: Lisa G. Hendry
Commission Expiration (Stamp or date):

Date: 10/8/21





REDEVELOPMENT

DATA SHEET

ONLY COMPLETE APPLICATIONS WILL BE ACCEPTED.
FAILURE TO COMPLETE THIS FORM WILL RESULT IN DEFERRAL OF YOUR APPLICATION.

DATA TABLE

1.	Zoning Classification: NT-2			
2.	Existing Land Use Type(s): Duplex-Triplex-Fourplex			
3.	Proposed Land Use Type(s): Duplex			
4.	Area of Subject Property: 8718 SF			
5.	Variance(s) Requested: N/A			
6.	Gross Floor Area (total square feet of building(s))			
	Existing:	2125	Sq. ft.	
	Proposed:	5590	Sq. ft.	
	Permitted:	5667	Sq. ft.	
7.	Floor Area Ratio (total square feet of building(s) divided by the total square feet of entire site)			
	Existing:	0.24	Sq. ft.	
	Proposed:	0.64	Sq. ft.	
	Permitted:	0.65	Sq. ft.	
8.	Building Coverage (first floor square footage of building(s))			
	Existing:	1533	Sq. ft.	17.6
				% of site
	Proposed:	4512	Sq. ft.	51.75
				% of site
	Permitted:	4795	Sq. ft.	55
				% of site
9.	Open Green Space (include all green space on site; do not include any paved areas)			
	Existing:	6735	Sq. ft.	
				% of site
	Proposed:	3978	Sq. ft.	
				% of site
10.	Interior Green Space of Vehicle Use Area (include all green space within the parking lot and drive lanes)			
	Existing:	N/A	Sq. ft.	
				% of vehicular area
	Proposed:	N/A	Sq. ft.	
				% of vehicular area



REDEVELOPMENT

DATA SHEET

DATA TABLE (continued page 2)					
11.	Paving Coverage (including sidewalks within boundary of the subject property; do not include building footprint(s))				
	Existing:	260	Sq. ft.		% of site
	Proposed:	620	Sq. ft.		% of site
12.	Impervious Surface Coverage (total square feet of all paving, building footprints and other hard surfaced areas)				
	Existing:	1605	Sq. ft.	18.41	% of site
	Proposed:	5667	Sq. ft.	65	% of site
	Permitted:	5667	Sq. ft.	65	% of site
13.	Density (units per acre)				
	<u>Sq. Ft. or Acre(s)</u>		<u>No. of Employees</u>		<u>No. of Clients (C.R. / Home)</u>
	Existing:	15	Existing:		Existing:
	Proposed:	10	Proposed:		Proposed:
	Permitted:	15			
14 a.	Parking (Vehicle) Spaces				
	Existing:	2	includes		disabled parking spaces
	Proposed:	6	includes		disabled parking spaces
	Required:	6	includes		disabled parking spaces
14 b.	Parking (Bicycle) Spaces				
	Existing:	0	Spaces		% of vehicular parking
	Proposed:	0	Spaces		% of vehicular parking
	Required:	0	Spaces		% of vehicular parking
15.	Building Height				
	Existing:	18	Feet		Stories
	Proposed:	22	Feet	2	Stories
	Permitted:	36	Feet		Stories
16.	Construction Value				
	What is the estimate of the total value of the project upon completion? \$ 700,000.00				
	<i>Note: See Drainage Ordinance for a definition of "alteration." If applicable, please be aware that this triggers Drainage Ordinance compliance. Please submit drainage calculations to the Engineering Department for review at your earliest convenience. The DRC must approve all Drainage Ordinance variances.</i>				



REDEVELOPMENT

NARRATIVE (PAGE 1)

All applications for redevelopment must provide justification for the requested redevelopment based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted. A separate letter addressing each of the criteria may be provided as a supplement to this form.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE	
Street Address: 1227 Jackson St N	Case No.:
Detailed Description of Project and Request:	
Redevelop 2 of the 3 units into fee simple townhomes with a lot split and a redevelopment plan	
<p>1. Building Type. Describe how the proposed building type (e.g. single-family homes with garage apartments, duplexes, multi-family uses, etc.) will match the predominate building type in the block face across the street, for projects less than a city block. For projects equal to or greater than one city block, describe how the proposed building type for perimeter structures will match the predominate building type in the block face across the street.</p> <p>Existing building was being used as a 3-unit rental</p> <p>Proposed new townhomes will be accompanied by a lot split, creating 2 side-by-side single family units to be sold separately.</p> <p>This single-family use will match the majority of the other buildings on the block better than the existing building and use.</p> <p>Buildings on the block are predominantly Single Family Home with some Duplex-Triple-Fourplex.</p>	
<p>2. Building Setbacks. Describe how the proposed building setbacks (including both perimeter and interior setbacks) will match the predominate building setbacks in the block face across the street, for projects less than a city block. For projects equal to or greater than one city block, describe how the proposed building setbacks for perimeter structures will match the predominate building setbacks in the block face across the street.</p> <p>The proposed project confirms with the current zoning setback requirements of NT-2. No setback variances are required.</p>	
<p>3. Building Type. Describe how the proposed building scale (one-story or two-story principle structures) will match the predominate building scale in the block face across the street, for projects less than a city block. For projects equal to or greater than one city block, describe how the proposed building scale for perimeter structures will match the predominate building scale in the block face across the street.</p> <p>Proposed project fits in with surrounding conditions.</p> <p>Buildings on the block are mixed between 1-story and 2-story. Buildings directly across the street are 2-story.</p>	



REDEVELOPMENT

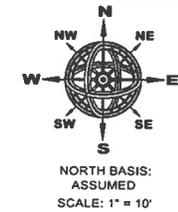
NARRATIVE (PAGE 2)

All applications for redevelopment must provide justification for the requested redevelopment based on the criteria set forth by the City Code. It is recommended that the following responses be typed. Illegible handwritten responses will not be accepted.

ALL OF THE FOLLOWING CRITERIA MUST BE ANSWERED.

APPLICANT NARRATIVE
<p>4. Site Development and Orientation. Describe how the proposed site development and orientation (e.g. location of buildings, front entries, driveways, parking, and utility functions) will match the predominate development pattern in the block face across the street, for projects less than a city block. For projects equal to or greater than one city block, describe how the proposed development pattern for perimeter structures will match the predominate development pattern in the block face across the street. If alley access exists on the proposed site, <u>garages and parking areas shall be designed for alley use.</u></p>
Proposed property matches predominant condition, including accounting for alley access.
Principal structures are located towards the front of the property, and garages are alley-loaded.
Potable utilities are fed from the front, sanitary utilities are fed from the alley.
<p>5. Floor area Ratio Bonuses. FAR bonuses shall only be allowed for originally platted lots which have not been joined together. Structures on joined or combined lots (two or more originally platted lots) shall not be allowed FAR bonuses. If bonuses are required, please complete the following questions:</p>
<p>a. <u>FAR Bonus of 0.10</u> – An FAR bonus of 0.10 shall be granted when structures are located in a traditional neighborhood context and designed in a traditional building style as defined by the City’s Neighborhood Design Review Manual or the Land Development Regulations. Describe the principle architectural style of the proposed building and explain how it uses the correct proportions, fenestration patterns, details, and materials of the recognized style.</p>
Please reference provided Zoning Compliance Calculator.
Architectural Style is Folk Vernacular
<p>b. <u>FAR Bonus of 0.05</u> – Describe whether the proposed building is finished with decorative wall finishes typical of traditional development. This includes clapboard or single products of real wood “Hardi-Plank” or the equivalent, rough textured or exposed aggregate stucco, tile, brick, or stone. Vinyl or aluminum siding and smooth or knock down stucco shall not qualify for this bonus.</p>
Hardi-plank siding is proposed on 4 sides

SECTION 13, TOWNSHIP 31S, RANGE 16E



Plan Legend

EXISTING TREES TO BE REMOVED SHOWN THUS:

ROOF LINES SHOWN THUS:

ROOF SLOPE SHOWN THUS:

GRADE SLOPE SHOWN THUS:

TREE PROTECTION BARRICADE SHOWN THUS:

EXISTING GRADE ELEVATION SHOWN THUS:

PROPOSED GRADE ELEVATION SHOWN THUS:

LEGAL DESCRIPTION

LOT 12, BLOCK 2, ACCORDING TO THE PLAT OF ORANGE PARK SUB-DIVISION AS RECORDED IN PLAT BOOK 4, PAGE 2 OF THE PUBLIC RECORDS OF HILLSBOROUGH COUNTY, FLORIDA, OF WHICH PINELLAS COUNTY WAS FORMERLY A PART

7' Rear Yard Building Setback Line

Landscaping Legend & Specifications

PROPOSED AZELEA (RHODODENDRON INDICUM) SHRUB 18" MIN. HEIGHT, - PLANTING LOCATION SHOWN THUS:

PROPOSED TREE: RED MAPLE, (ACER RUBRUM) 8" MIN. HEIGHT, FLORIDA GRADE NO. 1 OR BETTER - PLANTING LOCATION SHOWN THUS:

IRRIGATION NOTE: PROPERTY IRRIGATION TO BE IN-GROUND, MULTI-ZONE IRRIGATION SYSTEM ON TIMER CONTROL. SYSTEM TO BE DESIGNED TO AVOID RUNOFF, OVERSPRAY OR OTHER SIMILAR CONDITIONS WHERE WATER FLOWS ONTO OR OVER ADJACENT PROPERTY, NON-IRRIGATED AREAS, WALKWAYS, ROADWAYS OR STRUCTURES. A RAIN SENSOR DEVICE OR SWITCH SHALL BE INSTALLED WHICH WILL OVERRIDE THE IRRIGATION CYCLE OF THE SPRINKLER SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED.

NOTE: VEGETATIVE GROUND COVER TO BE INSTALLED WITHIN ALL PERMEABLE AREAS OF THE PROPERTY AND ADJUTING RIGHTS-OF-WAY. THE INSTALLATION OF ST. AUGUSTINE TURF (SOD) AT THE PROPERTY IS LIMITED TO A MAXIMUM OF 50% OF THE PERMEABLE AREA OF THE LOT; HOWEVER OTHER TYPES OF SOD AND VEGETATIVE PLANT MATERIAL ARE REQUIRED ON THE REMAINDER OF THE SITE. ANY SUCH MULCH AREAS WILL REQUIRE 1 PLANT/10 SF OF MULCH.

- LEGEND:**
- FND = FOUND
 - N&D = NAIL & DISK
 - FIR = FOUND IRON ROD
 - FOE = FOUND OPEN END PIPE
 - (M) = FIELD MEASUREMENT
 - (P) = PLAT
 - CONC. = CONCRETE
 - R/W = RIGHT OF WAY
 - T.B.M. = TEMPORARY BENCHMARK
 - C/C = COVERED CONCRETE
 - CLF = CHAIN LINK FENCE
 - WF = WOOD FENCE
 - WM = WATER METER
 - CLEANOUT
 - CABLE T.V.
 - POWER POLE
 - S = SANITARY MANHOLE
 - OAK TREE
 - PALM TREE
 - CAMPFIRE TREE
 - SPOT ELEVATION

Notes

- TREE REMOVAL IS NOT PART OF THIS PERMIT AND REMOVAL OF CODE PROTECTED TREES, OR TRIMMING OF GRAND TREES, REQUIRES A SEPARATE PERMIT APPROVAL.
- A ZONING INSPECTION IS REQUIRED TO VERIFY COMPLIANCE WITH THE APPROVED PLANS. MODIFICATIONS SHALL REQUIRE PLAN RESUBMITTAL AND APPROVAL PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).

Site Data Table

DESCRIPTION NT-2:	REQUIRED/ALLOWED:	ACTUAL:
LOT AREA:	5800 SF	8718 SF
RESIDENTIAL BUILDING COVERAGE:	(4795 SF) 0.55	(4512 SF) 0.52
TOTAL SITE:	(5667 SF) 0.65	(5667 SF) 0.66
FRONT YARD (1624SF) ISR:	(731SF) 0.45	(438 SF) 0.27

FAR (SEE 'BUILDING AREA TABULATION' TABLE ON THIS SHEET):

Zoning NT-2

Flood Zone

COMMUNITY PANEL #125148 12103C0217 G, REVISED 9/3/03

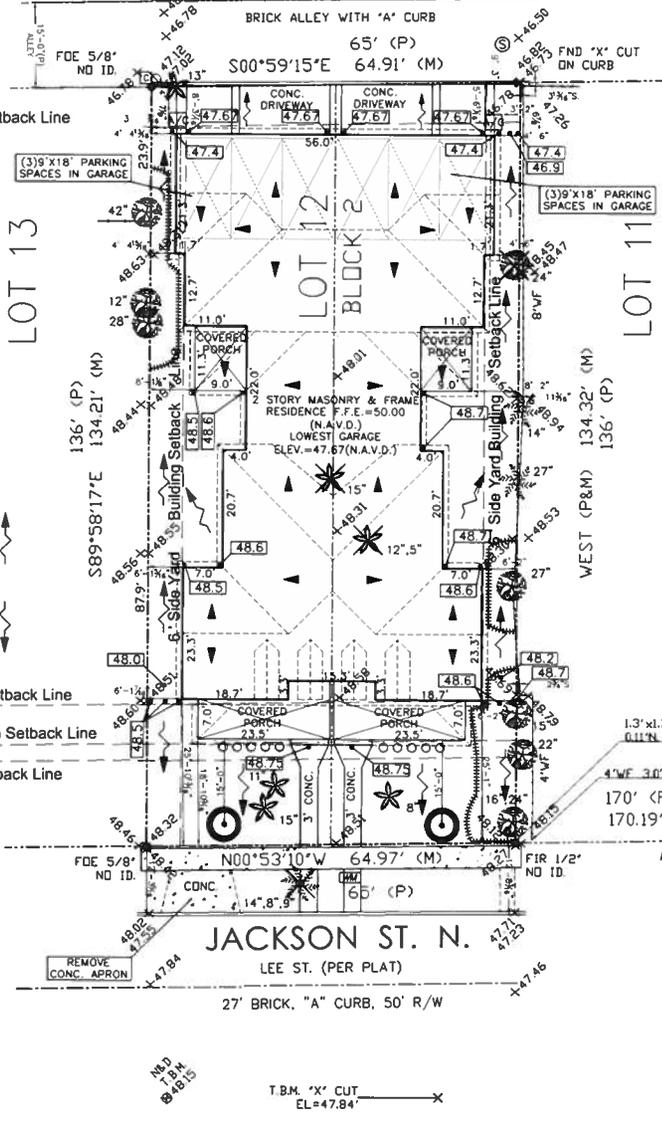
Basis of Bearings: SOUTH BOUNDARY WEST

Benchmark: CITY OF ST. PETE, #73
EL. = 139.67' CITY DATUM, ADJ. TO
EL. = 41.79' N.A.V.D. M.S.L. = 0.00'

25' Front Yard Building Setback Line

18' Front Yard Open Porch Setback Line

15' Front Yard Stoop Setback Line



Building Area Tabulation

DESCRIPTION:	NET 'A'	NET 'B'
1st FLOOR:	1670 Sqr'	1670 Sqr'
2nd FLOOR:	835 Sqr'	835 Sqr'
TOTAL LIVING AREA:	2505 Sqr'	2505 Sqr'
BASEMENT:	195 Sqr'	195 Sqr'
TOTAL ENCLOSED:	2600 Sqr'	2600 Sqr'
COVERED AREAS:	282 Sqr'	282 Sqr'
TOTAL UNDER ROOF:	2882 Sqr'	2882 Sqr'

TOTAL ENCLOSED SPACE: 2600 Sqr'

TOTAL ENCLOSED SPACE ALLOWED (8718 Sqr' SITE AREA x 0.45) = 3923 Sqr'

REDEVELOPMENT OF EXISTING WITHIN USE: (8718 Sqr' SITE AREA x 0.45) = 3923 Sqr'

SPACES = 8267 Sqr'

Project No. APC-2148 - Scale: 1"=10'-0"

Jackson Street Villas
1227 Jackson Street North
St. Petersburg, Florida

Date Issued: 09-14-21

Revised:

Drawn:

Checked:

Site Plan

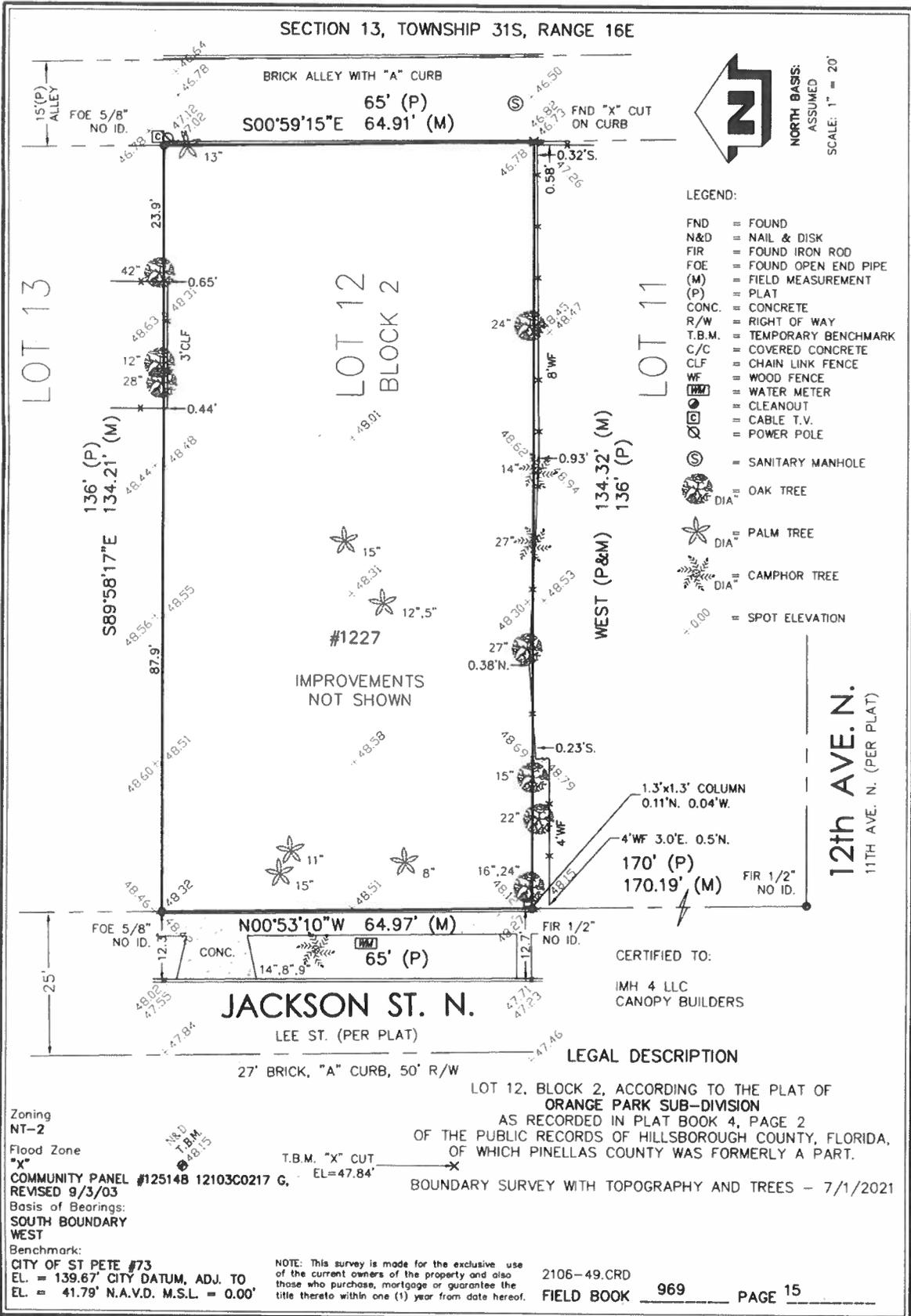
ALDERMAN Planning

617 Marshall Street, Lexington, VA 24450

Phone: 813.833.5161

Sheet **A.0.1**

SECTION 13, TOWNSHIP 31S, RANGE 16E

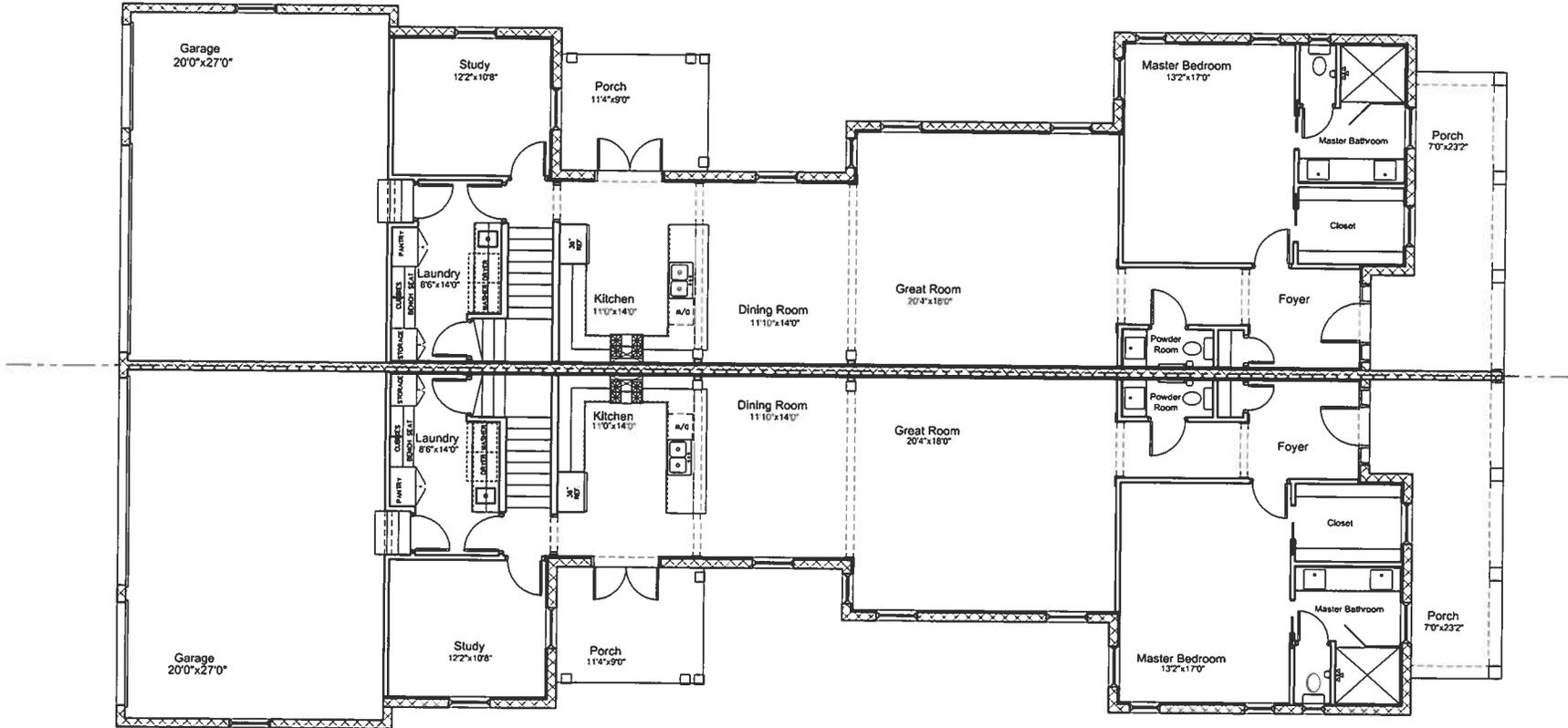


This Survey was prepared without the benefit of a title search and is subject to all easements, Rights-of-way, and other matters of record. NOTE: Survey not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper.

I hereby certify that the survey represented hereon meets the requirements of Chapter 5J- Florida Administrative Code.

John O. Brendla
JOHN O. BRENDLA
Florida Surveyor's Registration No. 4601
Certificate of Authorization No. LB 760

Prepared by:
JOHN C. BRENDLA & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS AND MAPPERS
4015 82nd Avenue North
Pinellas Park, Florida 33781
phone (727) 576-7546 ~ fax (727) 577-9932



Area Tabulation		
DESCRIPTION	UNIT 'A'	UNIT 'B'
LIVING AREA		
1st FLOOR:	1870 Sqft	1870 Sqft
2nd FLOOR:	838 Sqft	838 Sqft
TOTAL LIVING AREA:	2508 Sqft	2508 Sqft
GARAGE:	368 Sqft	368 Sqft
TOTAL ENCL. AREA:	3083 Sqft	3083 Sqft
COVERED PORCH:	282 Sqft	282 Sqft
TOTAL UNDER FOOT:	3367 Sqft	3367 Sqft
TOTAL ENCLOSED SPACE UNITS AREA: 6190 Sqft		
TOTAL ENCLOSURE SPACE ALLOWED:		
REDEVELOPMENT OF GRAND AVENUE USE:		
(8718 Sqft SITE AREA x 0.45) = (2330 Sqft)		
GARAGES = 8267 Sqft		

Project No. APC-2148 - Scale: 1/4" = 1'-0"

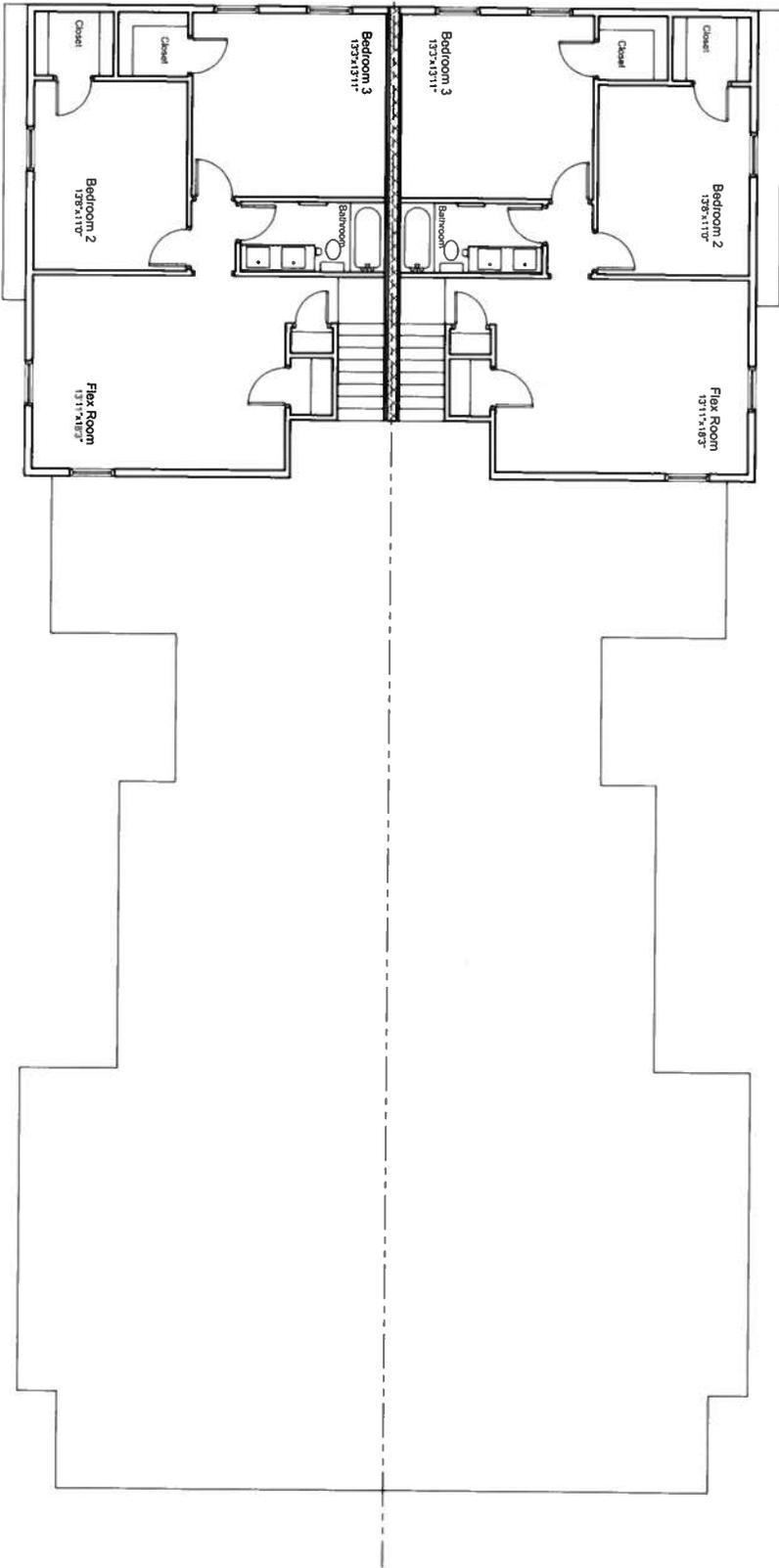
Jackson Street Villas
1227 Jackson Street North
St Petersburg, Florida

Date Issued: 09-14-21

1st Floor Plan

ALDERMAN Planning
Phone: 813.833.1616
617 Marshall Street, Leeburg, VA 24450

Sheet
A.1.1



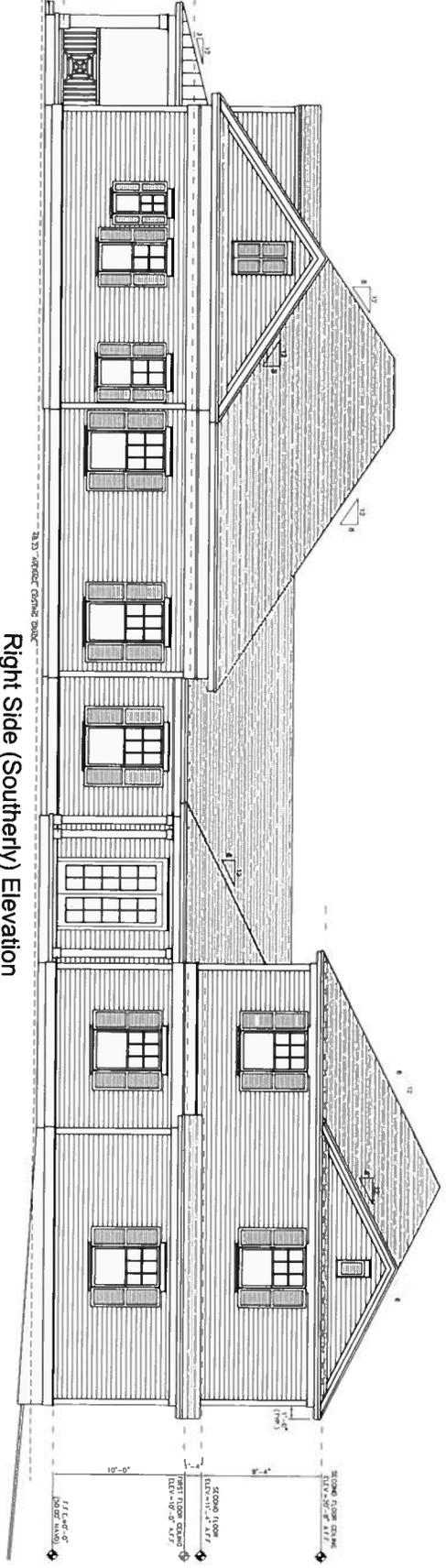
Building Area Translation	
CONCRETE	141.36
WOOD	117.00
GLASS	10.00
MECHANICAL	10.00
PAINT	10.00
PLASTER	10.00
ROOFING	10.00
STAIRS	10.00
TOTAL	228.36

A.1.2 Sheet	2nd Floor Plan	Date Issued: 09-14-21	Project No. APC-2148 - Scale: 1/4"=1'-0"														
	 ALDERMAN Planning Phone: 813.833.5161 617 Marshall Street, Lexington, VA 24450	<table border="1" style="width: 100%;"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Revision</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	No.	Date	Revision												
No.	Date	Revision															

Exterior Specifications	
FOUNDATION	STIFF, ROCK
WALLS	PAINTED HARDENED LUMBER, LAP JOINTS
CEILING	PAINTED HARDENED LUMBER
ROOF	ASPH/FLT, 1/2" OSB, 1" INSULATED CLASS
FLOOR	CONCRETE, 4" MINIMUM, REINFORCED WITH WIRE MESH, 3/4" DIA. BARS
DOORS	PAINTED HARDENED LUMBER
WINDOWS	PAINTED HARDENED LUMBER
FINISH	PAINTED HARDENED LUMBER

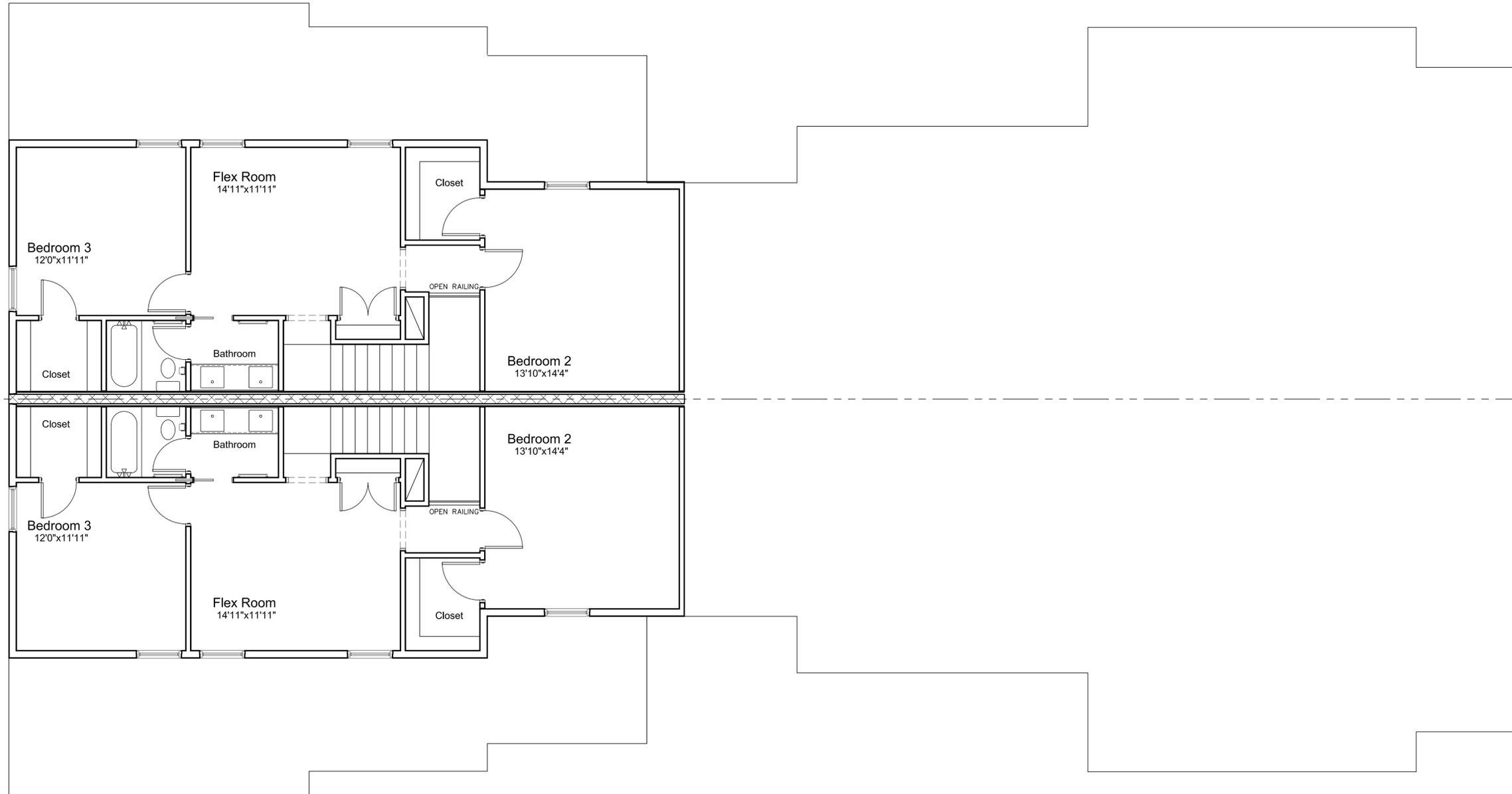


Front (Westerly - Jackson Street North) Elevation



Right Side (Southerly) Elevation

<p>A.2.1</p> <p>Sheet</p>	<p>Elevations</p> <p>ALDERMAN Planning</p> <p>Phone: 813.833.5161 617 Marshall Street, Lexington, VA 24450</p>	<p>Date Issued: 09-14-21</p> <table border="1"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Revision</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	No.	Date	Revision				<p>Project No. APC-2148 - Scale: 1/4"=1'-0"</p> <p>Jackson Street Villas</p> <p>1227 Jackson Street North St Petersburg, Florida</p>
	No.	Date	Revision						



Building Area Tabulation		
DESCRIPTION:	UNIT 'A'	UNIT 'B'
LIVING AREA:		
1st FLOOR:	1670 SqFt	1670 SqFt
2nd FLOOR:	839 SqFt	839 SqFt
TOTAL LIVING AREA:	2509 SqFt	2509 SqFt
GARAGE:	586 SqFt	586 SqFt
TOTAL ENCLOSED:	3095 SqFt	3095 SqFt
COVERED AREAS:	292 SqFt	292 SqFt
TOTAL UNDER ROOF:	3387 SqFt	3387 SqFt
TOTAL ENCLOSED SPACE UNITS A&B: 6190 SqFt		
TOTAL ENCLOSED SPACE ALLOWED: REDEVELOPMENT OF GRANDFATHER USE: (8718 SqFt SITE AREA X 0.65) + (2)300 SqFt GARAGES = 6267 SqFt		

Project No. APC-2148 - Scale: 1/4"=1'-0"

Jackson Street Villas
1227 Jackson Street North
St Petersburg, Florida

Date Issued: 09-14-21

No.: Date: Revision:

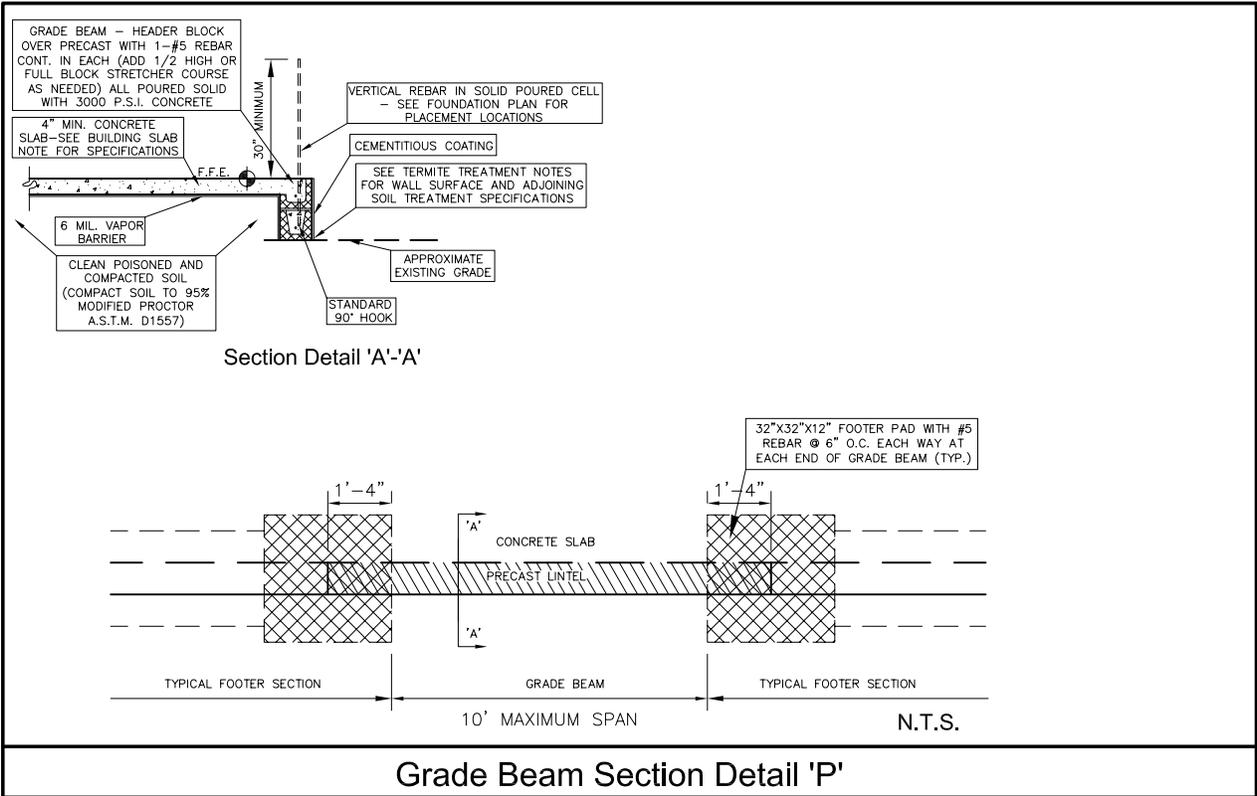
2nd Floor Plan

ALDERMAN Planning
COMPANY
Phone: 813.833.5161
617 Marshall Street, Lexington, VA 24450

Sheet

A.1.2

Attachment F



Copy SUBDIVISION BARTLETTS ORANGE PARK			✓ LOT 12	BLOCK 2
BUILDING	ELECTRICAL	PLUMBING		
Location: 1227 Jackson St.No. #31657 - 6/15/34 - \$200. R. D. Troupe - Reroof & Repair B of A - Denied 11/8/46 #60409-E - 11/14/46 - \$600. Owner William Heidel - General repairs; move part of building out of alley. #62452 - 4/24/47 - \$150. Owner William Heidel - Add 4' to end of garage and change roof line on dwelling. #89754-E - 12/4/51 - \$200. Owner William Heidel - Car- porte addition to garage (8' x 18') (Type D) B of A - 4/9/54 - Granted to demolish north 22' of residence on rear of lot; remove detached garage & carporte; build two car garage attached to north side of residence (#29).	#8718B - 4/25/50 - Heidel Rainbow - 3ws 2-meters #5227C - 8/14/51 - Heoydel Hayes - 3ws 3-meters; move service outside; add 1 meter #9174E - 3/9/55 - W. Heidel Elec. Serv. - 7c 7sw 7p 3ws 100 Amp. (work shop in gar) #8994G - 4/11/57 - Heidel (Apt.1) Lee & Horenburg-lsw 2p 3ws 70amp #4 1 meter	#24203 - 11/21/45 - Heidel A. T. Willy - c-1-s-b #P953B - 1/15/73 - F. Lowey Leland Plbg. - Repl. W.H. #P5589D-6-5-81-Thomas Loe CANCEL owner-1-we CANCEL CANCEL		
	INSTALLATION	GAS		
SIGNS	SEWER	SEPTIC TANK		
	#9221 - 11/21/45 - Heidel A. T. Willy			

#7905A-E - 8/9/54 - \$1000.
Owner William Heidel -
Demolish N. 22' of residence,
on rear of lot; remove detach-
ed garage & carporte; build
two car garage attached to
north side of residence.
(20' x 26')

B of A - 9/10/54 - Granted to
erect two story building with
side yard encroachment (#1).

#8939A-E - 9/17/54 - \$800.
Owner William Heidel - Add
two stories to existing
residence on rear of lot;
one room and bath over exist-
ing garage (20'x20')(Type V)
B of A - 4/8/55 - Denied to
convert storage room over
garage into three room and
bath apt. (install kitchen)
(#31').

B of A - Denied 7/13/56 to
demolish old section of bldg
and rebuild 2 story with
storage on 1st floor and
bedroom on 2nd floor (#12).

#8995G - 4/11/57 - Heidel
(Apt.2) Lee & Horenburg -
lsw 2p 3ws 70amp #4 1 meter
#7578G - 6/26/64 - F. F. Lowry
F. Lowry - 3ws 60A 1-meter
Meter for Apt. #3

#E7811H, 12/19/82 - Thomas W. Loe
Owner - 100 amps - #1 THW Cu - 1 ph-
1 meter (house meter only for
outside lights, lndy fac. &
garage workshop)

PROPERTY CARD INTERPRETATION
1227 JACKSON STREET NORTH 90-0067
08-30-90 THREE (3) LEGAL DWELLING
UNITS ON SITE TWO (2) UNITS ON THE
GROUND FLOOR OF THE RESIDENCE ONE
(1) UNIT OVER THE GARAGE M.L.S./rnr

Business Tax
active for 3 units
since 2004
according to
Nani Records

10/13/21
(Signature)

21-5100008

Business Tax License History

Attachment H

CENTRAL SQUARE TECHNOLOGIES Location Inquiry - Licenses 🔍 👤

1227 JACKSON ST N
SAINT PETERSBURG FL 337051036

✓ OK
✗ Exit
← Cancel

 Export

Option	Year	License Number	Classification	Status
▼	22	00000479	TAXED BY DWELLING UNITS	ACTIVE
▼	21	00000479	TAXED BY DWELLING UNITS	RENEWED
▼	20	00000479	TAXED BY DWELLING UNITS	RENEWED
▼	19	00000479	TAXED BY DWELLING UNITS	RENEWED
▼	18	00000479	TAXED BY DWELLING UNITS	RENEWED
▼	17	00000479	TAXED BY DWELLING UNITS	RENEWED
▼	16	00000479	TAXED BY DWELLING UNITS	RENEWED
▼	15	00000479	TAXED BY DWELLING UNITS	RENEWED
▼	14	00000479	TAXED BY DWELLING UNITS	RENEWED
▼	13	00000479	TAXED BY DWELLING UNITS	RENEWED
▼	12	00000479	TAXED BY DWELLING UNITS	RENEWED
▼	11	00000479	TAXED BY DWELLING UNITS	RENEWED
▼	10	00000479	TAXED BY DWELLING UNITS	RENEWED
▼	09	00000479	TAXED BY DWELLING UNITS	RENEWED
▼	08	00000479	TAXED BY DWELLING UNITS	RENEWED
▼	07	00000479	TAXED BY DWELLING UNITS	RENEWED
▼	06	00000479	TAXED BY DWELLING UNITS	RENEWED
▼	05	00000479	TAXED BY DWELLING UNITS	RENEWED
▼	04	00000479	TAXED BY DWELLING UNITS	RENEWED

21-5100008

Code Enforcement History

Attachment I

CENTRAL SQUARE TECHNOLOGIES Related Cases and Inspection Selection Q

✓ OK
✕ Exit
← Cancel

Property Address, Location ID 1227 JACKSON ST N Parcel Identification Nbr 13/31/16/02916/002/0120/ Old Account Number 89103530

Export

Option	Number	Status	Date	Insp Description
<input type="text"/>	21 00014664	CASE CLOSED	06/17/2021	OSS SEARCH FOR ACTIVE VIOLATIONS
<input type="text"/>	21 00004832	CASE CLOSED	03/05/2021	MRP CIVIL CITATION - JTD
<input type="text"/>	20 00025244	CASE CLOSED	10/14/2020	FDJ OVERGROWTH
<input type="text"/>	20 00025239	CASE CLOSED	10/14/2020	SGL SECURING STRUCTURES
<input type="text"/>	20 00008472	CASE CLOSED	04/09/2020	SGL CIVIL CITATION - JTD
<input type="text"/>	19 00021340	CASE CLOSED	08/13/2019	SGL PROPERTY MAINTENANCE
<input type="text"/>	18 00020581	CASE CLOSED	08/06/2018	SGL CIVIL CITATION - JTD
<input type="text"/>	18 00020578	CASE CLOSED	08/06/2018	SGL CIVIL CITATION
<input type="text"/>	14 00001445	CASE CLOSED	01/27/2014	RSH PROPERTY MAINTENANCE
<input type="text"/>	13 00002698	CASE CLOSED	02/20/2013	RSH PROPERTY MAINTENANCE
<input type="text"/>	11 00023709	CASE CLOSED	12/20/2011	IF PROPERTY MAINTENANCE
<input type="text"/>	04 00013246	INVALID COMP	07/08/2004	MSK INOPERATIVE MOTOR VEHICLE
<input type="text"/>	99 00011582	CASE CLOSED	06/02/1999	AJ INOPERATIVE MOTOR VEHICLE
<input type="text"/>	94 00012752	CASE CLOSED	07/11/1994	RR RCC - INSPECTION REPORT
<input type="text"/>	93 00011948	VOIDED	06/28/1993	WB NONE
<input type="text"/>	93 00010906	IN COMPLIANC	06/09/1993	MD CERTIFICATE OF INSPECTION PROG
<input type="text"/>	92 00015117	CASE CLOSED	10/12/1992	MBD OTHER
<input type="text"/>	92 00005688	VOIDED	06/05/1992	MBD ZONING VIOLATIONS
<input type="text"/>	92 00003171	CASE CLOSED	04/30/1992	MBD APPROVED PARKING